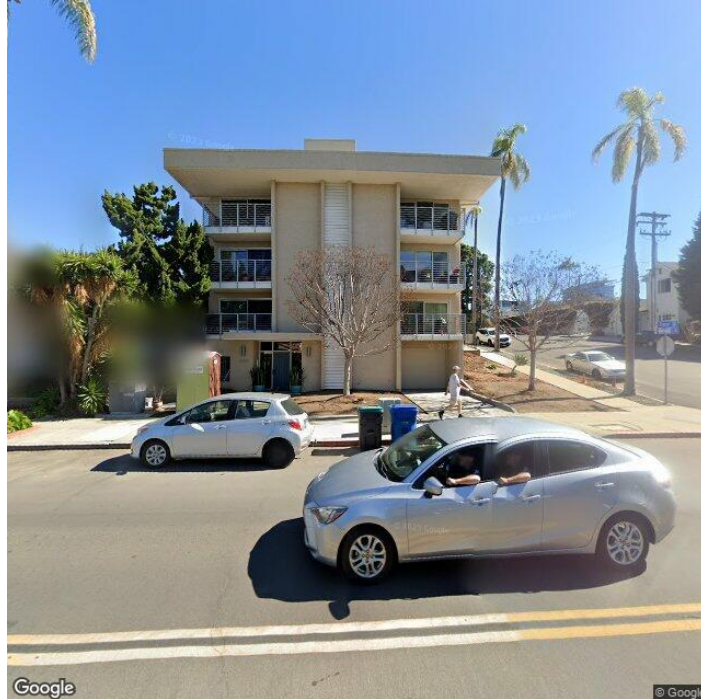




PATRICK'S PROPERTY MAINTENANCE SERVICE

619 818 3882

patrick@3einspect.com



PHASE 1 PRE-SB326 EVALUATION

1234 Main Street
Imperial Beach, CA 91932-1412

Buyer Name
01/11/2025 9:00AM



Agent

Agent Name
555-555-5555
agent@spectora.com

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SUMMARY



PASS



NON-EMERGENCY REPAIRS
REQUIRED

- 🔧 5.2.1 Exterior Elevated Element (E3) Condo Unit 1 Balcony - Balcony: Openings in Waterproofing
- 🔧 5.2.2 Exterior Elevated Element (E3) Condo Unit 1 Balcony - Balcony: Termite/Wood Rot Damage
- 🔧 6.2.1 E3 Condo Unit 2 Balcony - Balcony: Openings in Waterproofing
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- 🚫 8.2.1 E3 Condo Unit 4 Balcony - Balcony: Damaged Stucco & Walking Surface
- 🔧 8.2.2 E3 Condo Unit 4 Balcony - Balcony: Openings in Waterproofing
- 🔧 8.2.3 E3 Condo Unit 4 Balcony - Balcony: Corrosion
- 🔧 9.2.1 E3 Condo Unit 5 Balcony - Balcony: Openings in Waterproofing
- 🔧 10.2.1 E3 Condo Unit 6 Balcony - Balcony: Openings in Waterproofing
- 🔧 10.2.2 E3 Condo Unit 6 Balcony - Balcony: Corrosion

1: WHAT TO EXPECT

Information

Phase 1

Pre-326 Evaluation (P1PE) Service:

This service is designed to provide a comprehensive initial assessment of Exterior Elevated Elements (E3s) in condominium projects and HOAs. This service includes:

- Identification and photographic documentation of all E3s to be inspected, covering a statistically significant sample.
- Highlighting and documentation of areas of potential concern that may require further evaluation.
- Additional detailed assessment recommendations to ensure compliance with SB-721 regulations.
- Early identification of necessary repairs prior to the SB-721 inspection.
- Maintenance recommendations to prolong the lifespan and safety of E3s.

Inspection Images Description

The inspection photographs in each of the following E3 group sections illustrate the inspector's recorded observations of the E3 components' condition at the time of inspection. These images serve solely for identification and illustrative purposes and should not be interpreted as a comprehensive guide for defining the extent of necessary maintenance or repairs. They may not encompass all areas of the E3 requiring attention. For any emergency or non-emergency repairs, it is recommended to consult with a licensed and experienced General Contractor. A thorough review of the SB721 Inspection Report by such a contractor, followed by an on-site evaluation, is essential to accurately establish the required scope of work and ensure that repairs are effectively addressed.

2: LIMITATIONS

Information

Phase 1

Phase 1 - Pre-326 Evaluation Limitations

Please be aware that the Phase 1 Pre-326 Evaluation (P1PE) is the initial step in the SB-326 compliance process and is **NOT a complete SB-326 inspection**. The limitations of the P1PE include:

- The P1PE is primarily a visual inspection and does not encompass the detailed analysis required by SB-326. It focuses on basic function and safety rather than detailed Code Compliance.
- This evaluation does not involve borescope inspection or projections about future performance. It is not designed to cover every detail according to manufacturer specifications or current and past construction codes.
- The P1PE report is based on observable conditions at the time of the evaluation and does not include the inspection of concealed or difficult-to-inspect components. Cosmetic conditions are also excluded.
- This evaluation does not include detailed testing for hidden wood decay or for the presence of insects and vermin.
- The P1PE report is an advisory document and should not be regarded as a warranty or guarantee of the property's condition. Patrick's Property Maintenance Service is not liable for undetected or unreported issues or for any costs arising from such issues.
- Patrick's Property Maintenance Service assumes no liability beyond the cost of the report for mistakes, omissions, or errors in judgment. We are not liable for the cost of repairing or replacing any unreported defects or conditions.
- The report and findings are prepared exclusively for the client's use. Liability for decisions or actions taken based on the report does not extend to third parties.

3: REFERENCE INFORMATION

Information

For information about our services and pricing, please visit the following hyperlink: [Services and Pricing](#)

For information about our standards of practice, please visit the following hyperlink: [SOP](#)

Glossary of Terms

"Exterior Elevated Element (E3)" refers to balconies, decks, porches, stairways, walkways, and entry structures extending beyond a building's exterior walls. These structures have a walking surface elevated more than six feet above ground level, are designed for human occupancy or use, and rely significantly on wood or wood-based products for structural support or stability.

"Associated Waterproofing Elements" include flashings, membranes, coatings, and sealants that protect the load-bearing components of elevated exterior structures from water and elemental exposure.

"Load-Bearing Components" are elements extending beyond the building's exterior walls, transferring structural loads from the elevated exterior structure to the building.

"Borescope" refers to an optical tool used for inspecting inaccessible areas. It consists of a tube, either rigid or flexible, with a display and camera connected by an optical or electrical system, facilitating visual examination of narrow spaces.

"Cantilever Beams" are rigid structural element that extends horizontally and are unsupported at one end. Typically, they extend from flat vertical surfaces such as a wall, to which they must be firmly attached. A cantilever can be formed as a beam, plate, truss, or slab. When subjected to a structural load at the unsupported end, the cantilever carries the load to the support creating shear stress and a bending moment.

"Cladding" involves applying one material over another to create a protective or insulating layer. In construction, it is used for thermal insulation and weather resistance.

"Doubler" designates the junction point where stringers are attached.

"Deck Metal" is a type of metal flashing used around the perimeter of decks to prevent water infiltration.

"Joist hanger" refers to metal brackets that connect and support joists, beams, or rafters in framing systems. These hangers, typically made of aluminum, steel, or galvanized steel, anchor the ceilings, floors, and decks to the framing structure by fastening the joists or beams to the rim joists and ledger boards.

"Ledger" denotes a horizontal support structure affixed to a building or wall, providing support to various construction elements.

"Standoff" is a metal connector that elevates a wooden support beam, allowing for water drainage.

"Stair Stringer" is a structural component that underpins the treads and risers of a staircase. This inclined member, running along the staircase sides, acts as the staircase's backbone, bearing the weight and ensuring stability.

"Toe Trip" refers to a raised edge on a walking surface, usually caused by cracking or sagging of the support system, posing a trip hazard.

"Weep Screed" is a specific type of metal flashing located at the bottom of walls. It functions to expel moisture and establishes stucco depth and acts as a control joint in stucco walls.

Exterior Elevated Element (E3) Group Condition Evaluations

Each E3 Group undergoes a Condition Evaluation, considering the state of each component comprising the E3 assembly. The overall condition is determined by the component in the worst condition. With the component condition determined by the component's most severe defect. The Overall Condition Evaluation determines the necessary follow-up actions for the property owner.

Acceptable Condition - Pass: E3 groups and their components rated as Acceptable are deemed to be functioning as intended, requiring minimal, if any, maintenance to ensure continued performance until the next inspection cycle or 9 years.

Marginal Condition - Non-Emergency Repairs Required: One or more components of this E3 group rated as Marginal, are deemed to be compromised and are not functioning as intended. This condition may evolve into a hazardous condition if unaddressed.

Poor Condition - Immediate Threat to Safety: One or more components of this E3 group rated as Poor, are deemed as structurally compromised, posing an immediate safety threat. Access to the E3 group should be restricted to prevent harm during the repair or rebuilding process. Re-inspection is required after repair completion.

Notification and Follow-up

Poor Condition - Immediate Threat to Safety: If the inspector determines that the exterior elevated element poses an immediate threat to the safety of the occupants, the inspector shall immediately inform the association. If the observation is made during a phase 3 report, a copy of the inspection report shall be provided to the association immediately upon completion of the report, and to the local code enforcement agency within 15 days of completion of the report. Upon receiving notification, the association shall take preventive measures immediately, including preventing occupant access to the exterior elevated element until repairs have been inspected and approved by the local enforcement agency.

Marginal Condition - Non-Emergency Repairs Required: Delivery of phase 1 evaluation will serve as notification from the inspector and will contain maintenance advice for items requiring non-emergency repairs. If during the visual inspection the inspector observes building conditions indicating that unintended water or water vapor has passed into the associated waterproofing system, thereby creating the potential for damage to the load-bearing components a phase 2 evaluation may be necessary. The inspector will deliver the report to the owner or agent within 45 days of the evaluation or inspection.

Acceptable Condition - Pass: No action is required of the property owner on receiving this rating, regardless of inspection phase. The inspector will deliver the report to the owner or agent within 45 days of the evaluation or inspection. No corrective repairs are required, but regular observation and maintenance of the E3 is recommended. The property owner must keep a copy of the completed SB-326 Inspection report (Phase 3) for 2 inspection cycles (18 years).

4: PROPERTY OVERVIEW

Information

Applicability of SB-326

Applicable

The property contains at least a single building with three or more multifamily dwelling units with exterior elevated elements at least 6 feet off of the ground. These elements utilize load bearing components based on wood or wood-based products.

Weather Conditions

Clear

Exterior Images

These images show the exterior of the building or buildings, helping the viewer understand the property's layout.





5: EXTERIOR ELEVATED ELEMENT (E3) CONDO UNIT 1 BALCONY

5.1	Overall Condition Evaluation
5.2	Balcony

Information

*Orientation Images

Balcony



Overall Condition Evaluation: Acceptable Condition

Acceptable Condition - Pass:

E3 groups and their components rated as Acceptable are deemed to be functioning as intended, requiring minimal, if any, maintenance to ensure continued performance until the next inspection cycle or 9 years. The overall condition is determined by the component in the worst condition.

Overall Condition Evaluation: Acceptable Components

Railing is solid. Railing connections are sealed with no corrosion, Support structure(s) are functioning as intended
Continued regular maintenance is recommended.

Inspection Images Description

Reference [Inspection Images Description](#) subsection under [What To Expect](#)

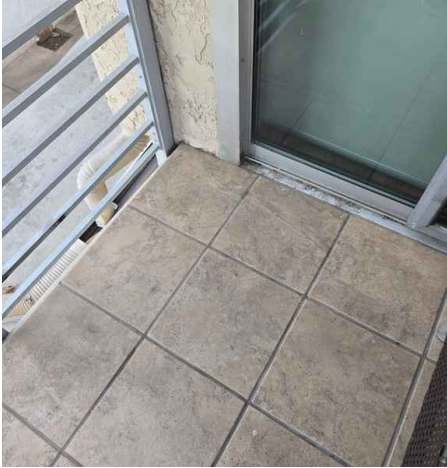
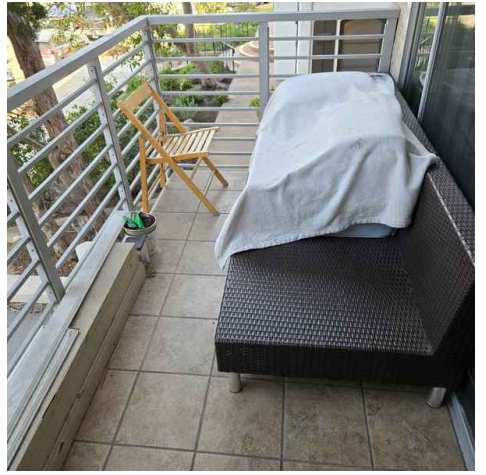
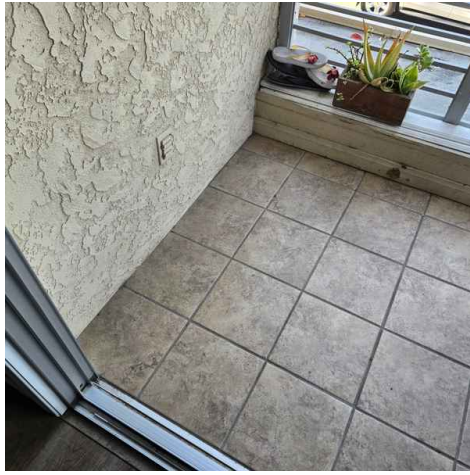
Balcony: Support Material
Wood

Balcony: Approximate Height
>6 ft

Balcony: Walking Surface Material
Tile

Balcony: Rail Material
Aluminum

Balcony: *Balcony Inspection Image(s)



Condition evaluation

5.2.1 Balcony

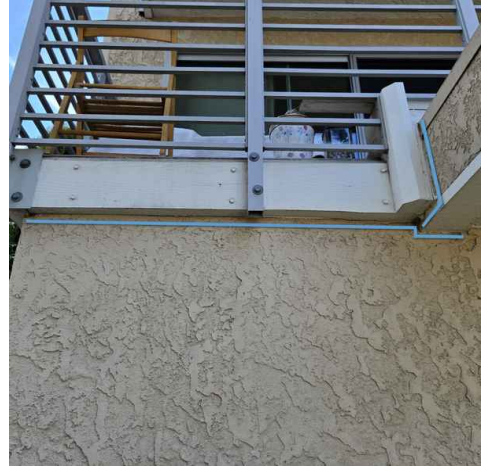


OPENINGS IN WATERPROOFING

Minor - There are cracks, openings, or penetrations in the waterproofing. The affected areas should be sealed.

Recommendation

Contact a qualified professional.



5.2.2 Balcony

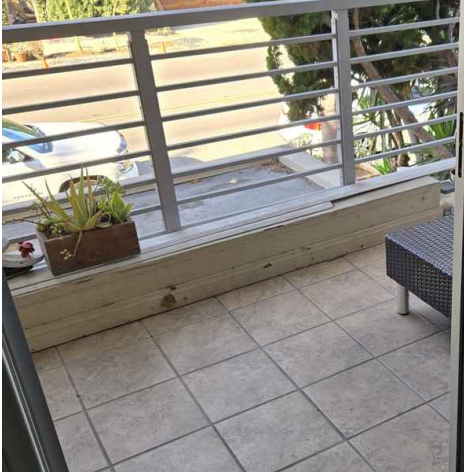


TERMITE/WOOD ROT DAMAGE

Minor - There is minor evidence of wood boring insect intrusion and/or wood rot which may include bore-holes or tunnels, pellets and droppings, weakness, softness, live insects, discoloration, crumbling texture, or fungal growth. These condition(s) are minor, the affected components should be treated or replaced.

Recommendation

Contact a qualified professional.



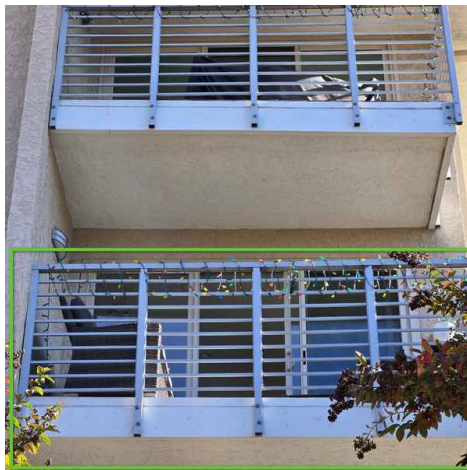
6: E3 CONDO UNIT 2 BALCONY

6.1	Overall Condition Evaluation
6.2	Balcony

Information

*Orientation Images

Balcony



Overall Condition Evaluation: Acceptable Condition

Acceptable Condition - Pass:

E3 groups and their components rated as Acceptable are deemed to be functioning as intended, requiring minimal, if any, maintenance to ensure continued performance until the next inspection cycle or 9 years. The overall condition is determined by the component in the worst condition.

Overall Condition Evaluation: Acceptable Components

Railing is solid. Railing connections are sealed with no corrosion, Support structure(s) are functioning as intended
Continued regular maintenance is recommended.

Inspection Images Description

Reference [Inspection Images Description](#) subsection under [What To Expect](#)

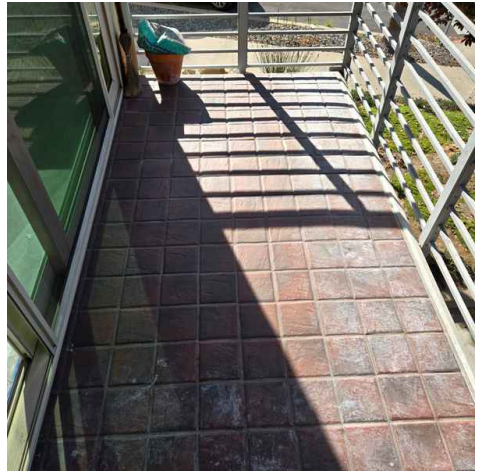
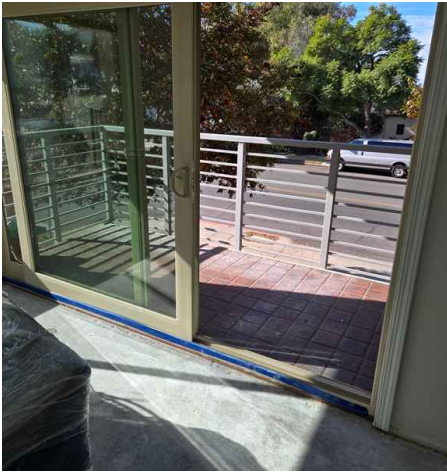
Balcony: Support Material
Wood

Balcony: Approximate Height
>6 ft

Balcony: Walking Surface Material
Tile

Balcony: Rail Material
Aluminum

Balcony: *Balcony Inspection Image(s)



Condition evaluation

6.2.1 Balcony



OPENINGS IN WATERPROOFING

Minor - There are cracks, openings, or penetrations in the waterproofing. The affected areas should be sealed.

Recommendation

Contact a qualified professional.



7: E3 CONDO UNIT 3 BALCONY

7.1	Overall Condition Evaluation
7.2	Balcony

Information

*Orientation Images

Balcony



Overall Condition Evaluation: Acceptable Condition

Acceptable Condition - Pass:

E3 groups and their components rated as Acceptable are deemed to be functioning as intended, requiring minimal, if any, maintenance to ensure continued performance until the next inspection cycle or 9 years. The overall condition is determined by the component in the worst condition.

Overall Condition Evaluation: Acceptable Components

Railing is solid. Railing connections are sealed with no corrosion, Support structure(s) are functioning as intended, Waterproofing is in good condition

Continued regular maintenance is recommended.

Inspection Images Description

Reference [Inspection Images Description](#) subsection under [What To Expect](#)

Balcony: Support Material

Wood

Balcony: Approximate Height

>6 ft

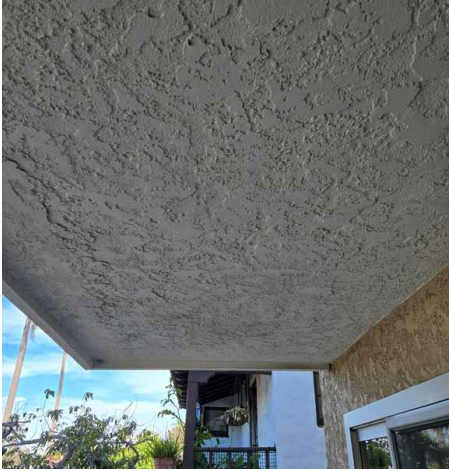
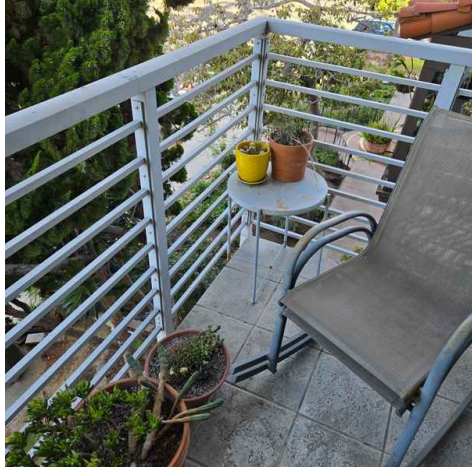
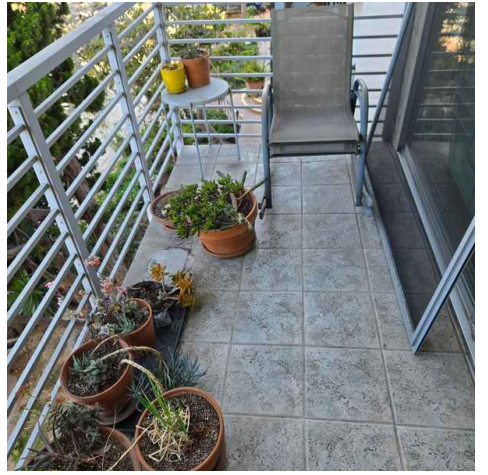
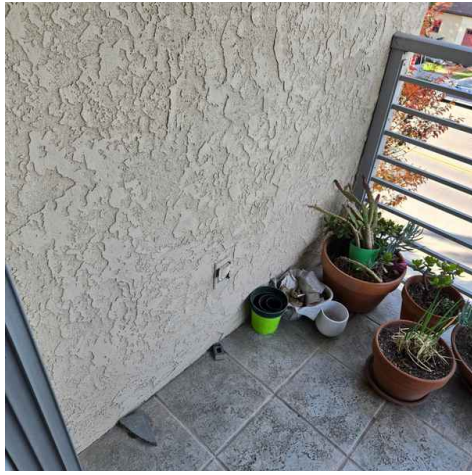
Balcony: Walking Surface Material

Tile

Balcony: Rail Material

Aluminum

Balcony: *Balcony Inspection Image(s)



Condition evaluation

7.2.1 Balcony



OPENINGS IN WATERPROOFING

Minor - There are cracks, openings, or penetrations in the waterproofing. The affected areas should be sealed.

Recommendation

Contact a qualified professional.



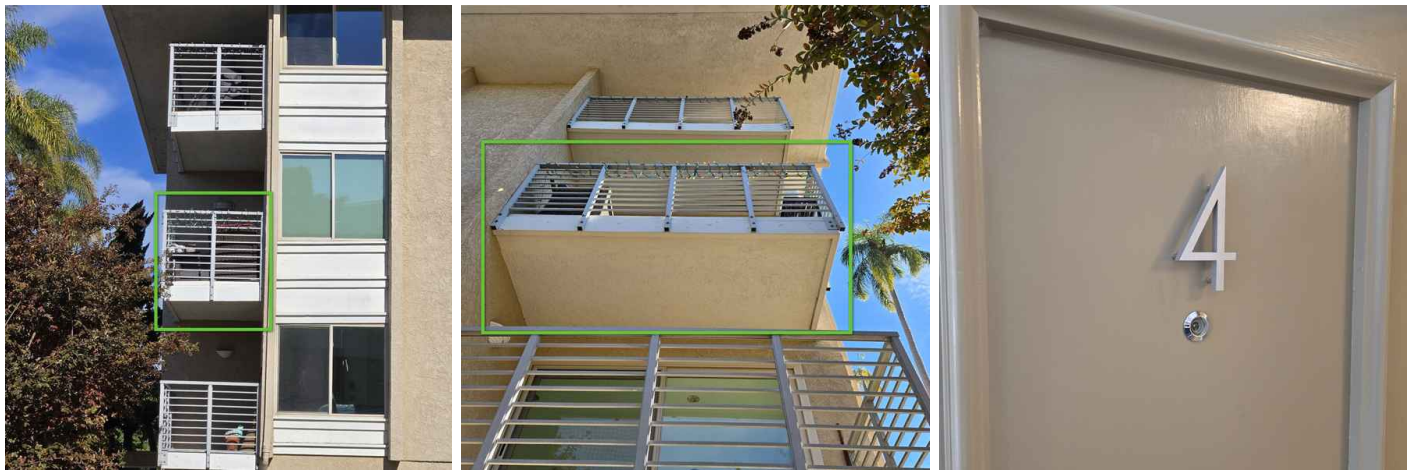
8: E3 CONDO UNIT 4 BALCONY

8.1	Overall Condition Evaluation
8.2	Balcony

Information

*Orientation Images

Balcony



Overall Condition Evaluation: Marginal Condition

Marginal Condition - Non-Emergency Repairs Required:

One or more components of this E3 group rated as Marginal, are deemed to be compromised and are not functioning as intended. This condition may evolve into a hazardous condition if unaddressed. The overall condition is determined by the component in the worst condition.

Overall Condition Evaluation: Acceptable Components

Railing is solid. Railing connections are sealed with no corrosion
Continued regular maintenance is recommended.

Inspection Images Description

Reference [Inspection Images Description](#) subsection under [What To Expect](#)

Balcony: Support Material
Wood

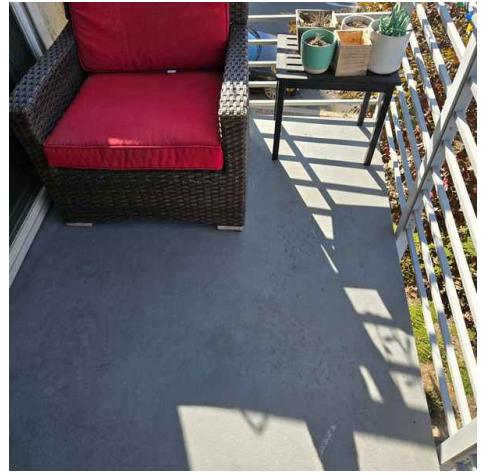
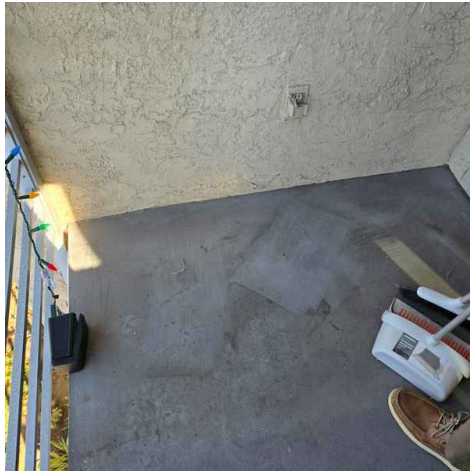
Balcony: Approximate Height
>6 ft

Balcony: Walking Surface Material
Concrete

Balcony: Rail Material
Aluminum

Balcony: *Balcony Inspection Image(s)

+ Add a caption



Condition evaluation

8.2.1 Balcony

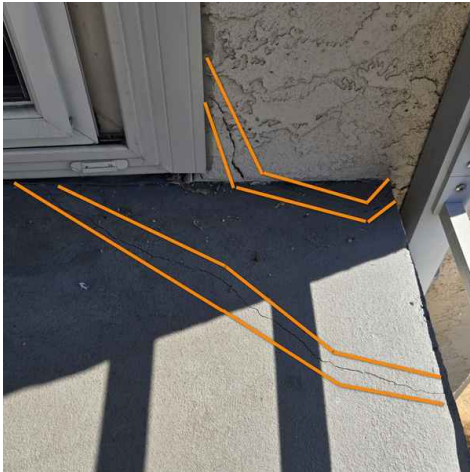
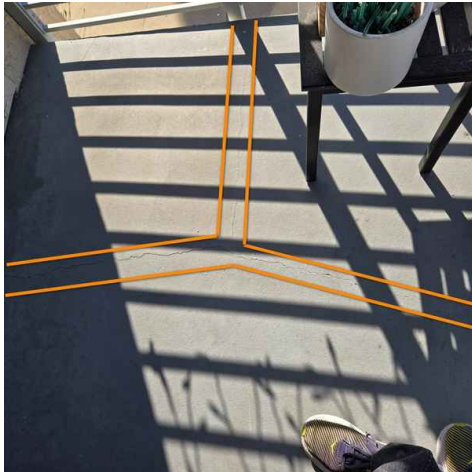
Non-Emergency Repairs Required

DAMAGED STUCCO & WALKING SURFACE

Marginal - Stucco and the walking surface are cracked, broken, dropping, separating, or crumbling. This is often the result of a failure in the structural support system. This type of failure can lead to significant structural damage and requires attention to prevent further deterioration or potential collapse. A Phase 2 Pre-326 Evaluation (P2PE) is recommended to determine the extent of any water damage via borescope inspection or larger investigative openings and to formulate a detailed repair plan. See Reference Information: Notification and Follow-Up - Marginal.

Recommendation

Contact a qualified professional.



Underside of SE corner of Balcony 4

8.2.2 Balcony

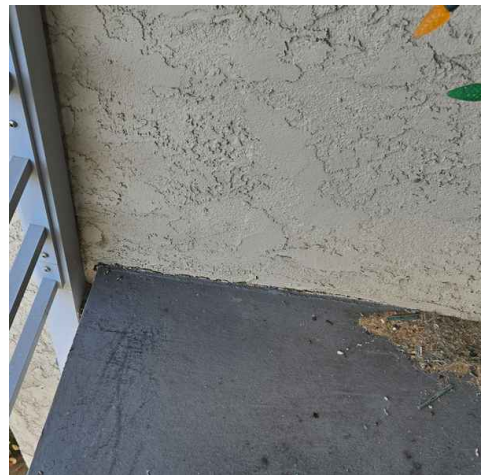
Pass

OPENINGS IN WATERPROOFING

Minor - There are cracks, openings, or penetrations in the waterproofing. The affected areas should be sealed.

Recommendation

Contact a qualified professional.



8.2.3 Balcony



CORROSION

Minor - There is an opening in the surface corrosion. The affected area(s) should be repaired.

Openings in the waterproofing at the edge metal allowed water intrusion leading to minor corrosion, expansion, and separation between the concrete deck and the edge metal.

Recommendation

Contact a qualified professional.



9: E3 CONDO UNIT 5 BALCONY

9.1	Overall Condition Evaluation
9.2	Balcony

Information

*Orientation Images

Balcony



Overall Condition Evaluation: Acceptable Condition

Acceptable Condition - Pass:

E3 groups and their components rated as Acceptable are deemed to be functioning as intended, requiring minimal, if any, maintenance to ensure continued performance until the next inspection cycle or 9 years. The overall condition is determined by the component in the worst condition.

Overall Condition Evaluation: Acceptable Components

Railing is solid. Railing connections are sealed with no corrosion, Support structure(s) are functioning as intended
Continued regular maintenance is recommended.

Inspection Images Description

Reference [Inspection Images Description](#) subsection under [What To Expect](#)

Balcony: Support Material

Wood

Balcony: Approximate Height

>6 ft

Balcony: Walking Surface Material

Tile

Balcony: Rail Material

Aluminum

Balcony: *Balcony Inspection Image(s)



Condition evaluation

9.2.1 Balcony



OPENINGS IN WATERPROOFING

Minor - There are cracks, openings, or penetrations in the waterproofing. The affected areas should be sealed.

Note: Tile edge is not properly finished or sealed.

Recommendation

Contact a qualified professional.



10: E3 CONDO UNIT 6 BALCONY

10.1	Overall Condition Evaluation
10.2	Balcony

Information

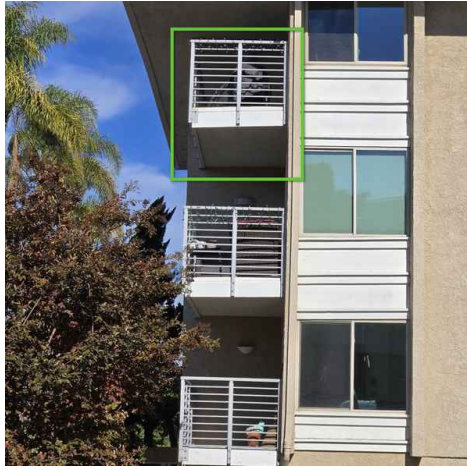
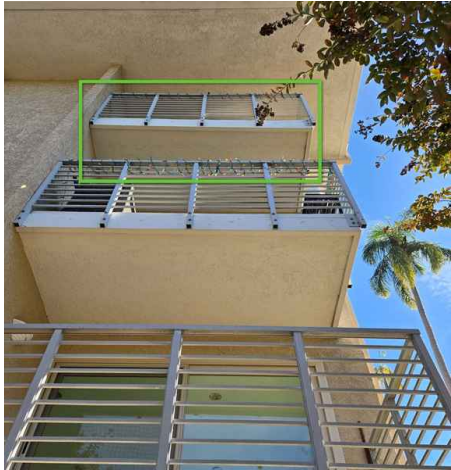
Acceptable Condition

Acceptable Condition - Pass:

E3 groups and their components rated as Acceptable are deemed to be functioning as intended, requiring minimal, if any, maintenance to ensure continued performance until the next inspection cycle or 9 years. The overall condition is determined by the component in the worst condition.

*Orientation Images

Balcony



Overall Condition Evaluation: Acceptable Components

Railing is solid. Railing connections are sealed with no corrosion, Support structure(s) are functioning as intended
Continued regular maintenance is recommended.

Inspection Images Description

Reference [Inspection Images Description](#) subsection under [What To Expect](#)

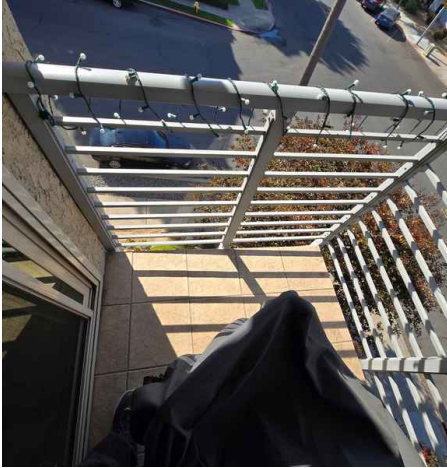
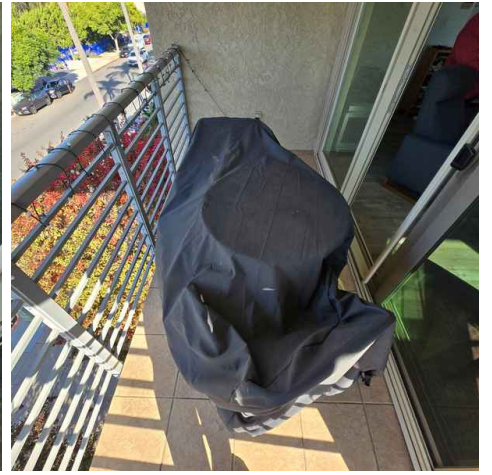
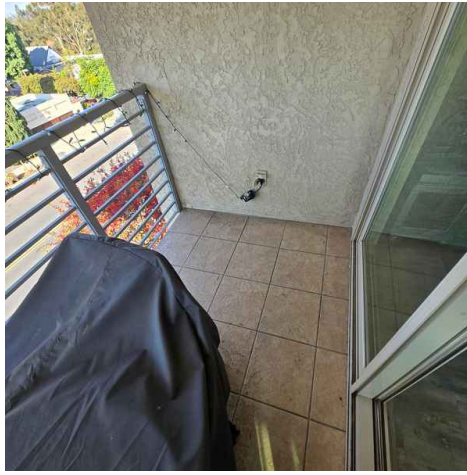
Balcony: Support Material
Wood

Balcony: Approximate Height
>6 ft

Balcony: Walking Surface Material
Tile

Balcony: Rail Material
Aluminum

Balcony: *Balcony Inspection Image(s)



Condition evaluation

10.2.1 Balcony

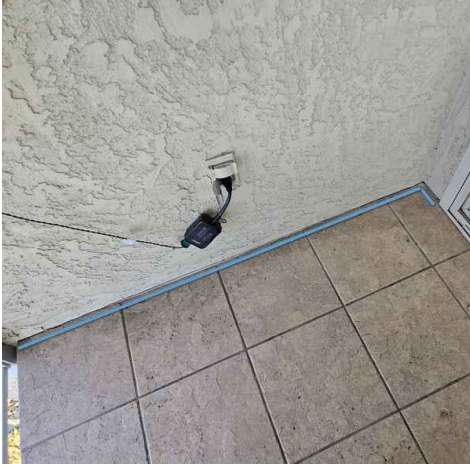


OPENINGS IN WATERPROOFING

Minor - There are cracks, openings, or penetrations in the waterproofing. The affected areas should be sealed.

Recommendation

Contact a qualified professional.



10.2.2 Balcony



CORROSION

Minor - There is surface corrosion. The affected area(s) should be repaired.

Note: Openings in the waterproofing at the edge metal allowed water intrusion leading to minor corrosion, expansion, and separation between the concrete deck and the edge metal.

Recommendation

Contact a qualified professional.

